

PRICE PROPOSAL

Secure Space Self Storage - Benicia, RD.

CONTRACTOR NAME:	DATE:
	March 4, 2023

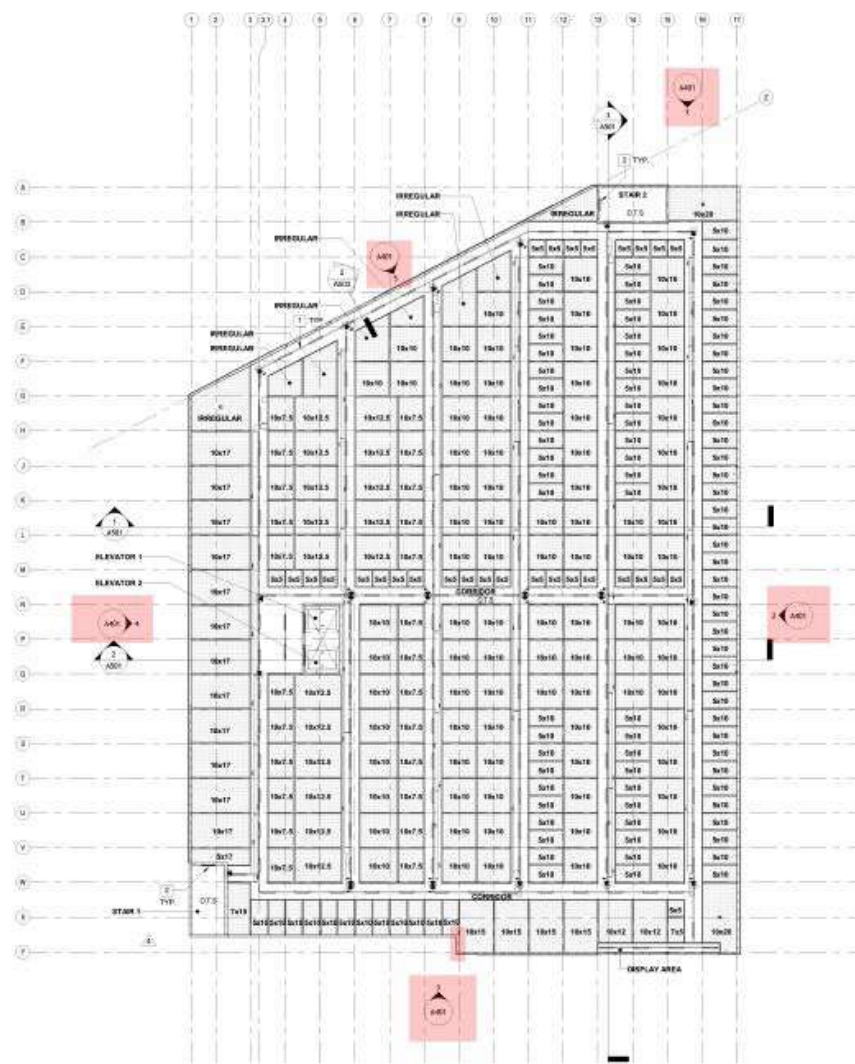
No.	Description	Special notes from Bidder	Material	Labor	Line Subtotal
1.0	General Conditions		\$ 10,950	\$ 15,034	\$ 25,984
2.0	Existing Conditions/ Demolition		-	\$ 42,557	\$ 42,557
9.0	Finishes		\$ 151,035	\$ 79,745	\$ 230,780
	Subtotal		\$ 161,985	\$ 137,335	\$ 299,320
	Insurance	10%	\$ 16,199	\$ 13,734	\$ 29,932
	Overhead & Profit	20%	\$ 32,397	\$ 27,467	\$ 59,864
	<u>TOTAL BASE BID</u>		\$ 210,581	\$ 178,536	\$ 389,116

Estimate of Materials and Cost of Construction

Date: 4 March 2023
Project: Secure Space Self Storage - Benicia, RD.
Location: 1250 Benica Road Vallejo, CA 94591

ITEM #	REF. SHEET	REF. DETAIL	DESCRIPTION	QTY.	UNIT	WASTAGE	QTY W/ WASTAGE	UNIT COST (MATERIAL)	TOTAL COST (MATERIAL)	UNIT COST (LABOR)	TOTAL COST (LABOR)	TOTAL ITEM COST	TRADE COST	
01- GENERAL CONDITIONS												\$ 25,984		
1			Permits Documentation And Fees	1	LS	0%	1	\$0	\$ -	\$5,467	\$ 5,466.74	\$ 5,467		
2			Hazardous Waste Or Disposal Work	1	LS	0%	1	\$0	\$ -	\$6,833	\$ 6,833.43	\$ 6,833		
3			Protection of Existing Structures and Fixtures	1	LS	0%	1	\$0	\$ -	\$1,367	\$ 1,366.69	\$ 1,367		
4			Signage	1	LS	0%	1	\$0	\$ -	\$683	\$ 683.34	\$ 683		
5			Sales Tax on Material Items	1	LS	0%	1	\$10,950	\$ 10,950.04	\$0	\$ -	\$ 10,950		
6			Mateial Storage	1	LS	0%	1	\$0	\$ -	\$683	\$ 683.34	\$ 683		
02- EXISTING CONDITIONS												\$ 42,557		
			Floor Plan											
7	A-401	A-401	Scaffolding For Stucco Woks	35464	SF	0%	35,464	\$0	\$ -	\$1	\$ 42,556.80	\$ 42,557		
09- FINISHES												\$ 230,780		
			Exterior Elevations											
8	A-401	A-401	Stucco 1 Manuf: Dryvit Integral Color (3 Coats)	13808	SF	0%	13,808	\$6	\$ 82,845.00	\$3	\$ 43,907.85	\$ 126,753		
9	A-401	A-401	Stucco 2 Manuf: Dryvit Integral Color (3 Coats)	8191	SF	0%	8,191	\$6	\$ 49,143.00	\$3	\$ 26,045.79	\$ 75,189		
10	A-401	A-401	Stucco 3 Manuf: Dryvit Integral Color (3 Coats)	2375	SF	0%	2,375	\$6	\$ 14,250.00	\$3	\$ 7,552.50	\$ 21,803		
11	A-401	A-401	Stucco Finish Reveal	3198	LF	0%	3,198	\$2	\$ 4,797.00	\$1	\$ 2,238.60	\$ 7,036		
SUB TOTAL									\$ 161,985	\$ 137,335	\$ 299,320	\$ 299,320		
INSURANCE									10%	\$ 16,199	\$ 13,734	\$ 29,932	\$ 29,932	
OVERHEAD AND PROFIT									20%	\$ 32,397	\$ 27,467	\$ 59,864	\$ 59,864	
TOTAL BASE BID									\$ 210,581	\$ 178,536	\$ 389,116	\$ 389,116		

4/15/2023 1:02:38 PM \\ms\apps\projects\secure self storage\reflected ceiling\level 4\REFLECTED CEILING PLAN.rvt



REFLECTED CEILING PLAN - LEVEL 4

KEYNOTES

1. UNLESS NOTED OTHERWISE
2. LIGHT FIXTURES AT ALL LEVELS, OF ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

CEILING PLAN NOTES

1. EMERGENCY LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT
2. ALL LIGHT FIXTURES INCLUDING EXIT LIGHTS, EMERGENCY LIGHTS, ETC., SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR
3. ALL FINISHING AND PAINTING REQUIREMENTS SHALL BE DIRECTED TO THE PROS. SCHEDULE SPECIFICATIONS AND NOTES FOR ELEVATION
4. CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS, CEILINGS AND SUSPENDED GRIDS
5. ELECTRICAL CONTRACTOR TO VERIFY IF SERVICES PROVIDED IS ADEQUATE. NOTIFY ARCHITECT IMMEDIATELY IF NOT
6. ALL EQUIPMENT SHALL BEAR U.L. LABELS
7. ELECTRICAL CONTRACTOR MUST PROVIDE AN IDENTIFICATION NAME PLATE ON TENANT'S MAIN ELECTRICAL SERVICES. FUSEBLE DISCONNECT SWITCH IN LANDLORD'S DISTRIBUTION PANEL AND RTU NAMEPLATE MUST BE OF THICK PLASTIC, BLACK OR WHITE & GIBES TO LARGE PRINT. LETTERS THE SIZE SHALL BE ONE INCH HIGH BY REQUIRED LENGTH, WITH TENANT'S SPACE NUMBER SUBSEQUENT TO IT PERMANENTLY AFFIX TO DISTRIBUTION PANEL
8. DIFFUSERS AND LIGHTS TO HAVE HANG WIRES ON ALL FOUR CORNERS
9. ALL FIRE DAMPERS MUST BE IDENTIFIED BY A STICKER INSTALLED ON CEILING BELOW DUCT. FIRE DAMPERS MUST BE INSTALLED WITH A BRANHAM KEY CONNECTION PLUMBING THAT CANNOT CONTAIN ANY COMBUSTIBLES
10. GENERAL CONTRACTOR TO PROVIDE ACCESS DOORS AS NECESSARY AND COMPARTMENT LOCATIONS. ACCESS PANELS MUST BE FLUSH, FIRE-RATED CYLINDER PANELS IN SALES AREA. O.C. MUST PROVIDE AN ALLOWANCE FOR ACCESS PANELS IN BID.
11. ALL LIGHTING SHOULD BE IN WORKING ORDER AND ALL COVERS / LENSES IN PLACE
12. GENERAL CONTRACTOR SHALL COMPLY WITH CURRENT STATE ENERGY CODES
13. GENERAL CONTRACTOR TO VERIFY FIRE ALARM REQUIREMENTS AND NOTIFY ARCHITECT AS SOON AS POSSIBLE OF ANY DISCREPANCIES
14. FIRE ALARM FIRE STROBE, FIRE PULL SHALL BE BY OTHERS ON A SEPARATE SUBMITTAL
15. ALL DIFFUSAL WITHIN STORAGE AREAS (TOWAY SPACE AND CORRIDOR) SHALL BE COVERED WITH METAL PERFORATED PANELS
16. PROTECT SHAFT ENCLOSURES (PERMITTED TO BE PENETRATED BY DUCT AND AIR TRANSFER OPENINGS) WITH APPROVED FIRE AND SMOKE DAMPERS AS REQUIRED
17. MAINTAIN 18" CLEARANCE BETWEEN SECURITY KIOSK AND FIRE SUPPRESSOR HEAD DETECTOR
18. COOPERATE: SPECIFIER LINES WITH ELECTRICAL, LIGHTS, MECHANICAL, DUCTS, AND STRUCTURE

REFLECTED CEILING PLAN LEGEND

- SUSPENDED GRID CEILING (SQUARE) (SMOOTH FINISH, PAINTED PT. 2)
- O.T.S. (OVER TO STRUCTURE ABOVE)
- DRYWALL CEILING
- SECURITY MESH CEILING
- DROP LIGHT FIXTURE
- LINEAR PENDANT LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- LINEAR PENDANT LIGHT FIXTURE MOUNTED ON LUMINAIRE
- PENDANT DOWNLIGHT FIXTURE
- ILLUMINATED EXIT SIGN (OPTIONAL)



REVISIONS		
NO.	DATE	DESCRIPTION
1	11/09/2022	ISSUE FOR SET
2	02/09/2023	REVISED FOR SET
3	04/19/2023	REVISED FOR SET
4	06/02/2023	REVISED FOR SET
5	07/27/2023	REVISED FOR SET

CLIENT INFORMATION



PROJECT NAME: SECURE SPACE SELF STORAGE - BENICIA RD.
 1250 BENICIA ROAD
 VALLEJO, CA 94591
 PROJECT NUMBER: REFLECTED CEILING PLAN - LEVEL 4

DESIGNER:	CHAD C. ALLRED
DATE:	04/11/2023
SCALE:	AS NOTED
PROJECT NUMBER:	
SHEET:	

A304



REVISIONS		
NO.	DATE	DESCRIPTION
1	11/02/2022	ISSUED FOR PERMITS
2	02/02/2023	REVISED PER COMMENTS
3	02/02/2023	REVISED PER COMMENTS
4	02/02/2023	REVISED PER COMMENTS
5	02/02/2023	REVISED PER COMMENTS



SECURE SPACE SELF-STORAGE - BENICIA RD.
1250 BENICIA ROAD
VALLEJO, CA 94581

A401

KEYNOTES	
#	KEYNOTE DESCRIPTION
1	BUILDING ADDRESS NUMBER
2	SPACE LINES SEPARATE PERMIT
3	FINISH REVEAL
4	LOCKER/DA DOWNPOUT NOTE. SEE PLUMBING DRAWINGS FOR MORE INFORMATION
5	WALL MOUNTED LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
6	DOOR. SEE DOOR SCHEDULE FOR MORE INFORMATION
7	SHADE LINE INDICATING ROOF BOARD PATTERN SHOWN FOR REFERENCE
8	ANCHOR CONTROL JOINT

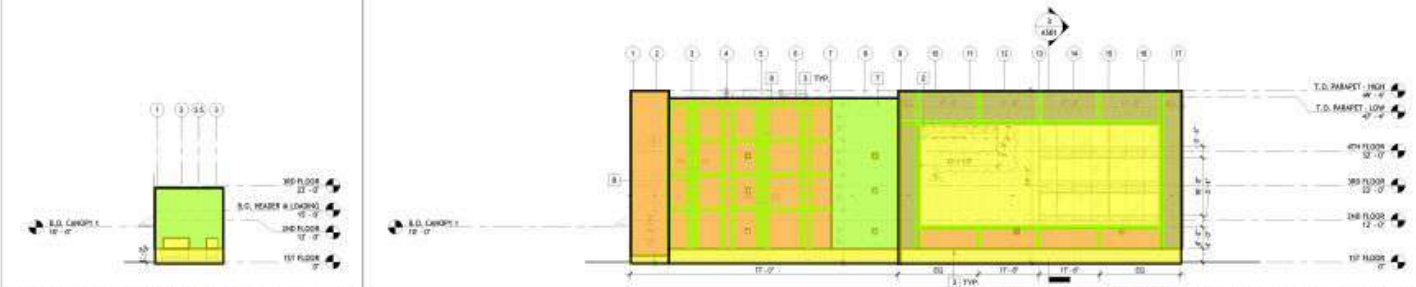
EXTERIOR ELEVATION LEGEND	
	STUCCO 1 DRYVIT INTEGRAL COLOR ON APPROVE N.T.
	STUCCO 2 DRYVIT INTEGRAL COLOR ON APPROVE N.T.
	STUCCO 3 DRYVIT INTEGRAL COLOR ON APPROVE N.T.
	METAL PANEL PROFILE: VERTICAL FINISH: PRIMA N.T.
	METAL PANEL PROFILE: VERTICAL CONDOLATA FINISH: PRIMA N.T.
	GLASS VISION GLASS FINISH: CLEAR N.T.

EXTERIOR ELEVATION NOTES	
1	GO TO PROVIDE WITH GARDEN CONTAINERS UP TO 9" MIN. ABOVE GROUND LEVEL TO ALL EXTERIOR SURFACES OF THE BUILDING SET ENCLOSED IN THE SECURITY FENCE/GATES. INCLUDES OF GARDENS. THE ANCHORING FOR THE WALLS SHALL BE THE ORIGINAL APPLICATOR OR FACTORY PART OF ANY PART OF THE BUILDING. ANCHORING FITTING BY PROCEED TO THE E.D. SHEET WEATHER SEAL, SUB-CURTAIN AND GARDEN CONTROL. E.D. SHEET IS ORIGINAL.
2	WHERE ARCHITECTURAL ELEMENTS RETURN TO THE DRG WALL USE PRECISION CMU BONDING.
3	APPLY ONE COAT TO ALL EXPOSED CONCRETE WALLS. FINISH TO BE PREPARED BY EQ. 2.
4	PREPARE BACKGROUND FOR WALL MOUNTED ITEMS, INCLUDING DRUMS, AS REQUIRED.

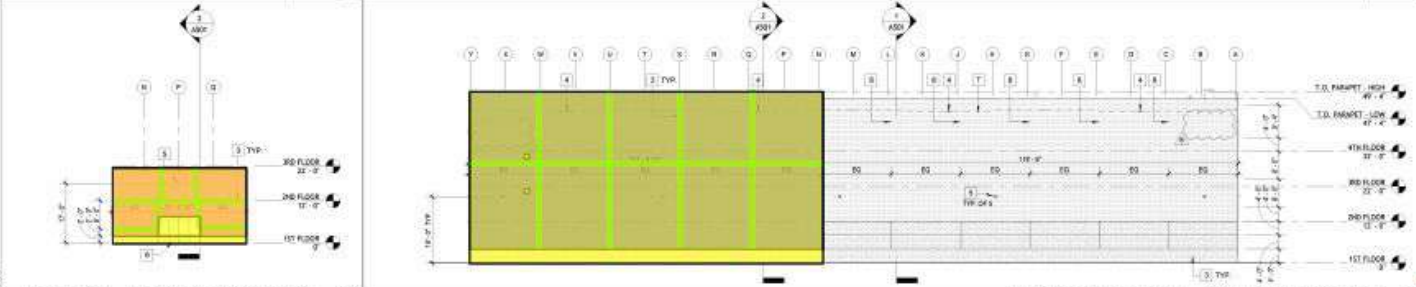
	Stucco 1, Dryvit Integral Color	13,807.3 SQ FT
	Stucco 2 Dryvit Integral Color	8,195.2 SQ FT
	Stucco 3 Dryvit Integral Color	2,375.0 SQ FT
	Stucco Finish Reveal	3,198.6 SQ FT
	Scaffolding	35,484.8 SQ FT



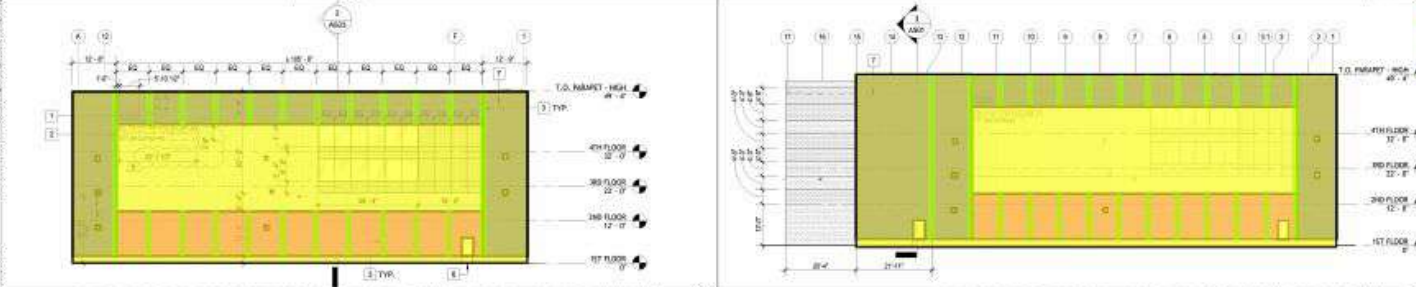
EXT. ELEV. - NORTHWEST - PARKING 4



EXT. ELEV. - SOUTHWEST - CREEK 3



EXT. ELEV. - SOUTHEAST - BACK 2



EXT. ELEV. - NORTHEAST - BENICIA ROAD - ANGLED WALL 5

EXTERIOR ELEVATIONS

PROJECT NAME	DATE
SECURE SPACE SELF-STORAGE - BENICIA RD.	04/11/22
PROJECT NUMBER	SCALE
1250 BENICIA ROAD VALLEJO, CA 94581	AS NOTED
PROJECT MANAGER	DATE
	04/11/22
PROJECT NUMBER	SCALE
A401	AS NOTED

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- Stucco 1, Dryvit Integral Color **13,807.3 SQ FT**
- Stucco2 Dryvit Integral Color **8,190.5 SQ FT**
- Stucco 3 Dryvit Integral Color **2,375.0 SQ FT**

KEYNOTES

#	KEYNOTE DESCRIPTION
1	BUILDING ADDRESS NUMBER
2	SIGNAGE UNDER SEPARATE PERMIT
3	FINISH REVEALS
4	OVERFLOW DOWNSPOUT NOZZLE, SEE PLUMBING DRAWINGS FOR MORE INFORMATION
5	WALL-MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
6	DOOR, SEE DOOR SCHEDULE FOR MORE INFORMATION
7	DASHED LINE INDICATING ROOF BEHIND PARAPET SHOWN FOR REFERENCE
8	MASONRY CONTROL JOINT

EXTERIOR ELEVATION LEGEND

	CMU 1 ANGELUS BLOCK SILVER SPLITFACE		STUCCO 1 DRYVIT INTEGRAL COLOR OR APPROVED ALT.
	CMU 2 ANGELUS BLOCK SILVER BURNISHED		STUCCO 2 DRYVIT INTEGRAL COLOR OR APPROVED ALT.
	MP1 MORIN METAL PANEL PROFILE: VERTICAL EXPOSED VB-36 FINISH: WHITE		STUCCO 3 DRYVIT INTEGRAL COLOR OR APPROVED ALT.
	MP2 MORIN METAL PANEL PROFILE: VERTICAL CONCEALED A-12 FINISH: BRISTOL BLACK		
	GL-01 VISION GLASS OLD CASTLE 1" CLEAR INSULATING		

Kinetic Design
20881 Lake Forest Drive Suite B16
Lake Forest, CA 92653
Main: 951.710.6334 | Web: kineticdesign.build
Email: info@kineticdesign.build

STAMP

REVISIONS

No.	DATE	DESCRIPTION
1	11/19/21	PCC #1
2	03/29/22	PCC #2
3	05/11/22	PCC #3
4	06/30/22	CLIENT REVISION, PCC #4
5	02/10/23	CLIENT REVISION

CLIENT INFORMATION

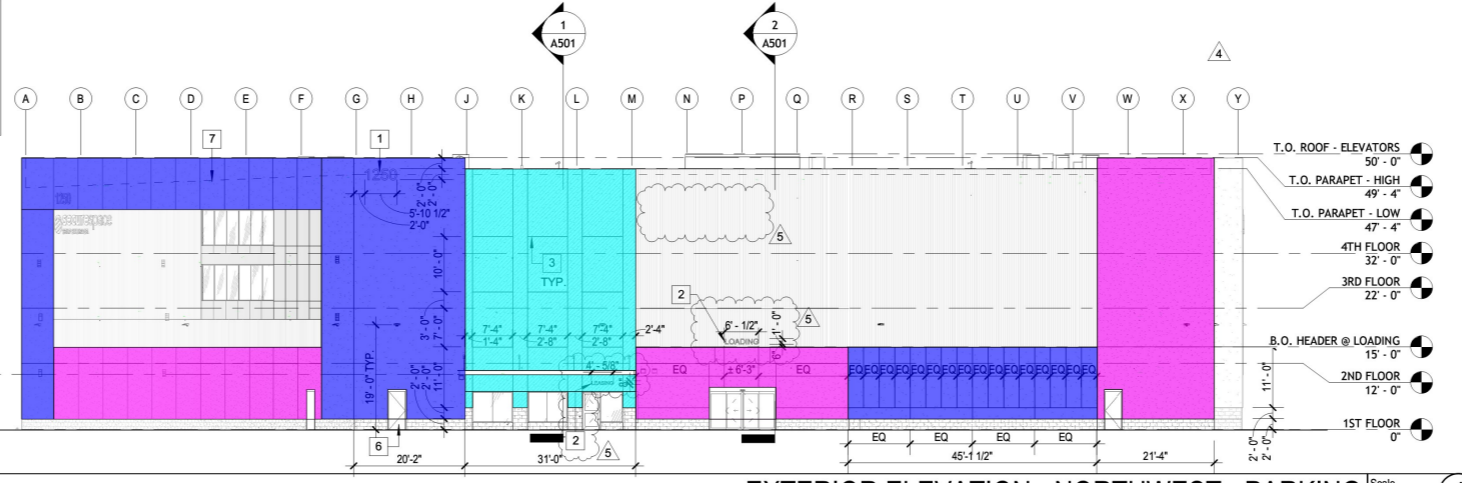


PROJECT NAME
SECURE SPACE SELF STORAGE - BENICIA RD.
1250 BENICIA ROAD
VALLEJO, CA 94591
SHEET NAME
EXTERIOR ELEVATIONS

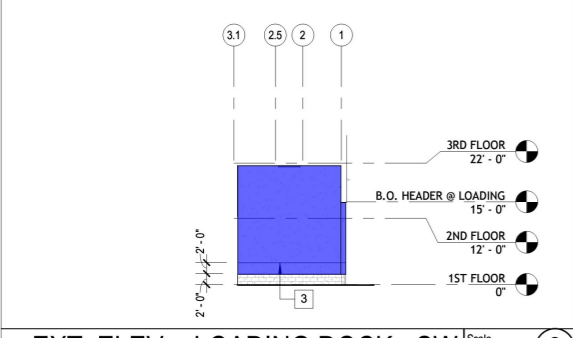
DRAWN	CHECKED
DATE	04/01/22
SCALE	AS NOTED
PROJECT NUMBER	
SHEET	

A401

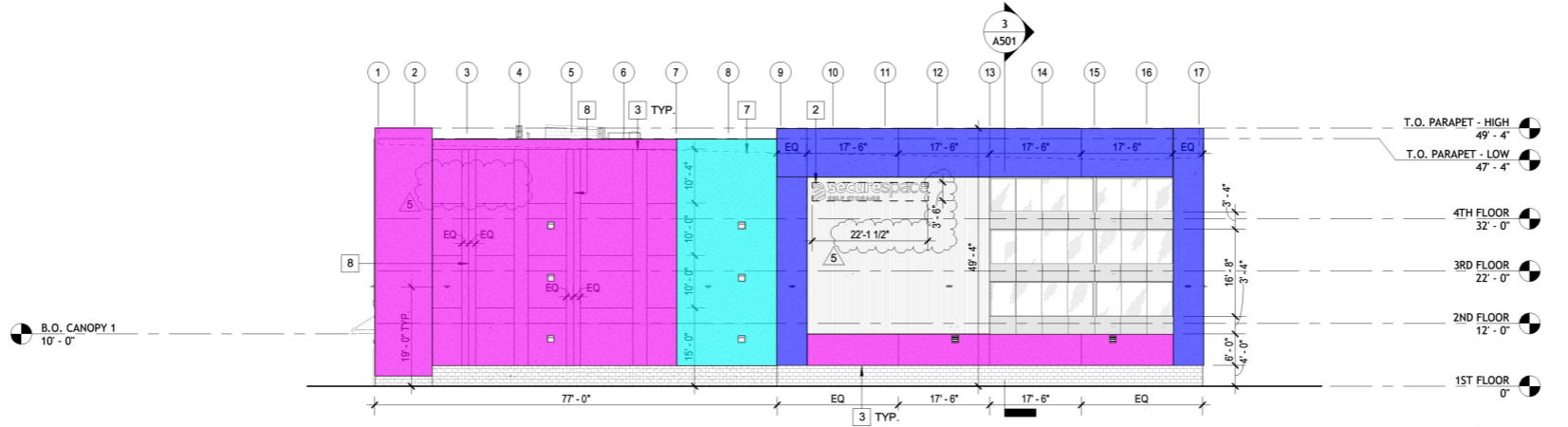
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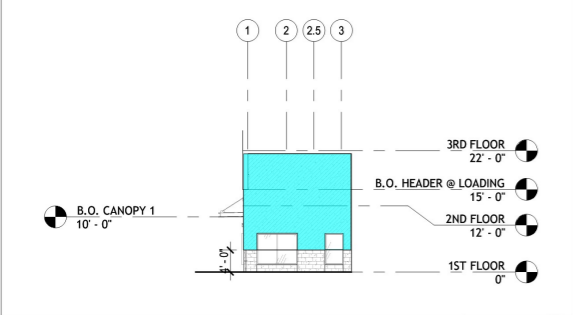
EXTERIOR ELEVATION - NORTHWEST - PARKING Scale: 1/16" = 1'-0" (4)



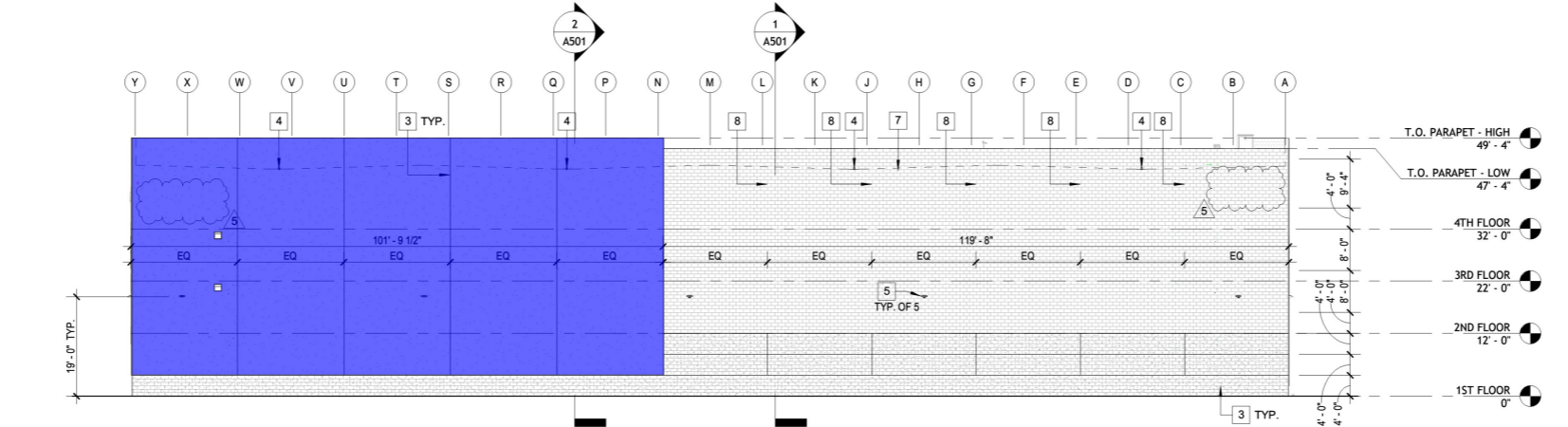
EXT. ELEV. - LOADING DOCK - SW Scale: 1/16" = 1'-0" (8)



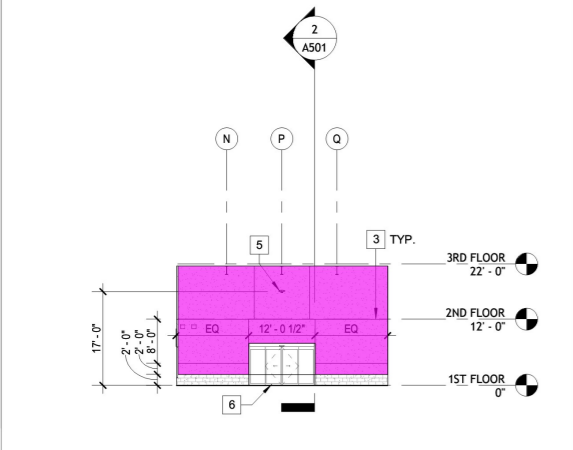
EXTERIOR ELEVATION - SOUTHWEST - CREEK Scale: 1/16" = 1'-0" (3)



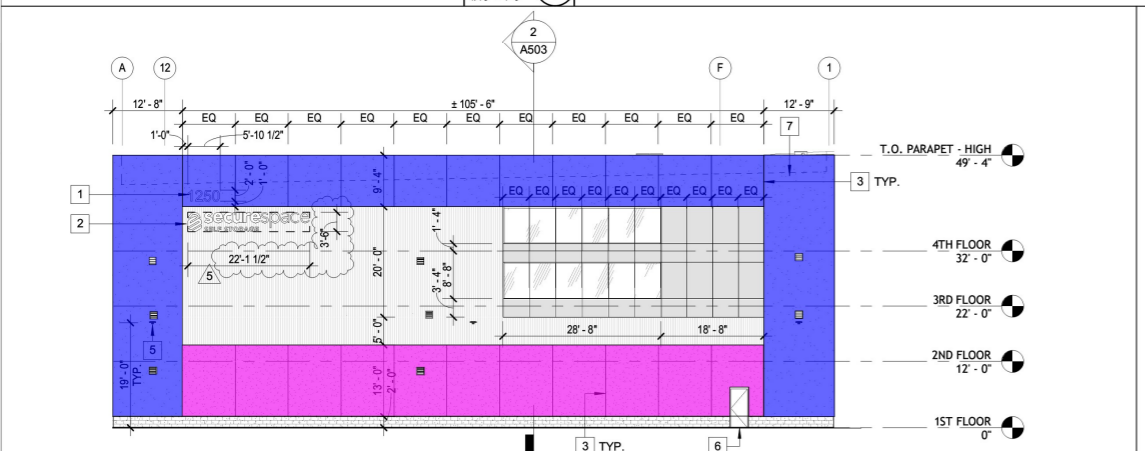
EXT. ELEV. - LOADING DOCK - NE Scale: 1/16" = 1'-0" (7)



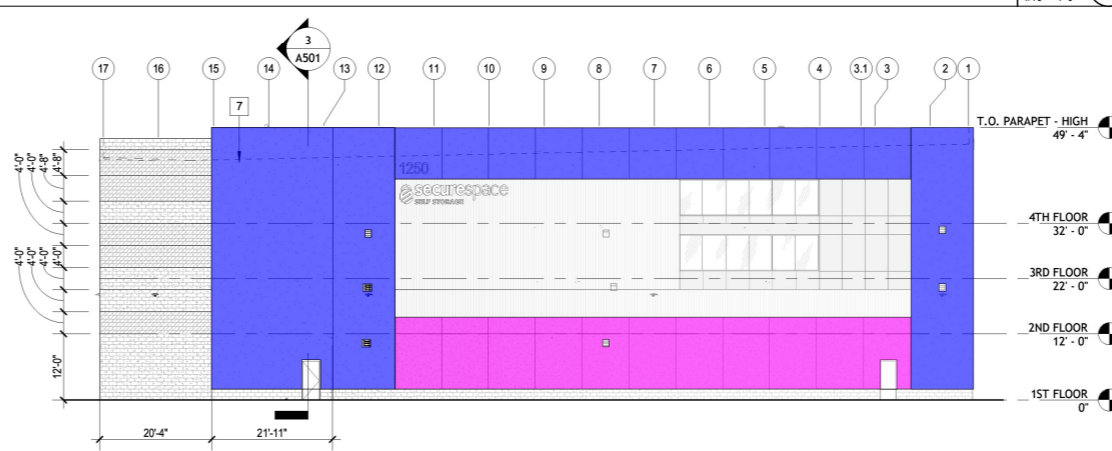
EXTERIOR ELEVATION - SOUTHEAST - BACK Scale: 1/16" = 1'-0" (2)



EXT. ELEV. - LOADING DOCK - NW Scale: 1/16" = 1'-0" (6)



EXTERIOR ELEVATION - NORTHEAST - BENICIA ROAD - ANGLED WALL Scale: 1/16" = 1'-0" (5)



EXTERIOR ELEVATION - NORTHEAST BENICIA ROAD Scale: 1/16" = 1'-0" (1)

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